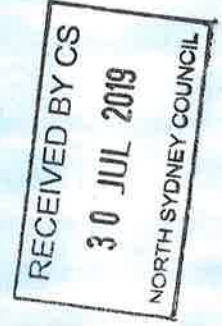


88 WALKER STREET

88 WALKER STREET, NORTH SYDNEY
NSW 2060 AUSTRALIA

Development Application Issue
2/07/2019

fitzpatrick+partners

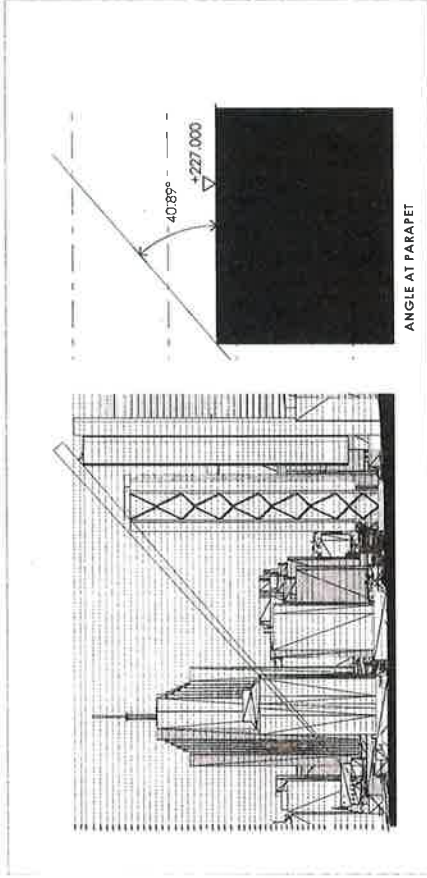


Drawing List

- DA-0001 COVER PAGE
- DA-0002 CONTENTS
- DA-0010 DIAGRAMS-STREET VIEW ANGLES
- DA-0050 SITE PLAN
- DA-0101 LEVEL 47 COMMERCIAL PLAN
- DA-0102 LEVEL 48 ROOFTOP BAR PLAN
- DA-0103 LEVEL 49 UMR PLAN
- DA-0104 LEVEL ROOFTOP PLAN
- DA-0200 ELEVATION SHEET 01
- DA-0201 ELEVATION SHEET 02
- DA-0250 SECTION SHEET 01
- DA-0251 SECTION SHEET 02
- DA-0260 DETAIL SHEET 01
- DA-0261 DETAIL SHEET 02
- DA-0262 DETAIL SHEET 03
- DA-0263 DETAIL SHEET 04
- DA-0264 DETAIL SHEET 05
- DA-0265 DETAIL SHEET 06
- DA-0266 DETAIL SHEET 07
- DA-0700 AREA SCHEDULE
- DA-0800 VIEW 1
- DA-0801 VIEW 2
- DA-0802 VIEW 3
- DA-0803 VIEW 4
- DA-0804 VIEW 5
- DA-0805 VIEW 6
- DA-0806 LOOKING DOWN
- DA-0807 ROOFTOP VIEW
- DA-0808 ROOFTOP VIEW
- DA-0809 ROOFTOP VIEW
- DA-0900 SHADOWS JUNE 3:00PM



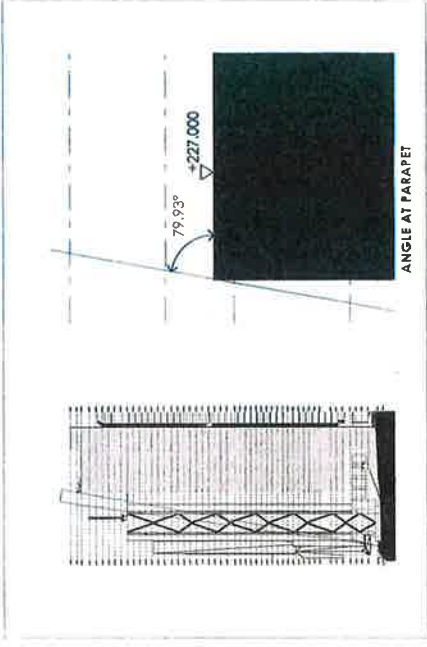
angles taken from eye level on ground plane to approved top of facade RL +227.000



ANGLE AT PARAPET

VIEW 1 CORNER PACIFIC HWY AND WALKER ST

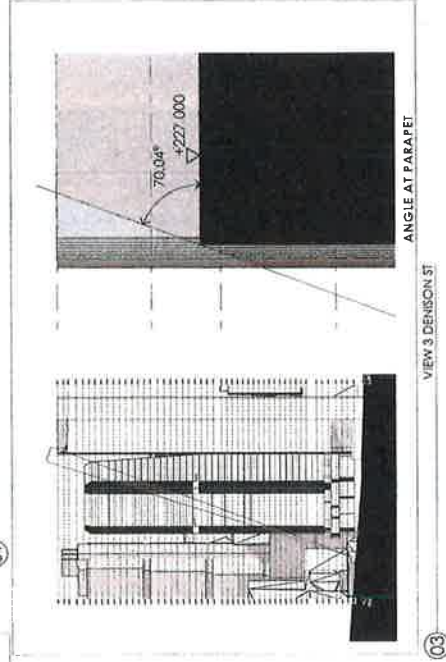
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ANGLE AT PARAPET

VIEW 2 WALKER ST

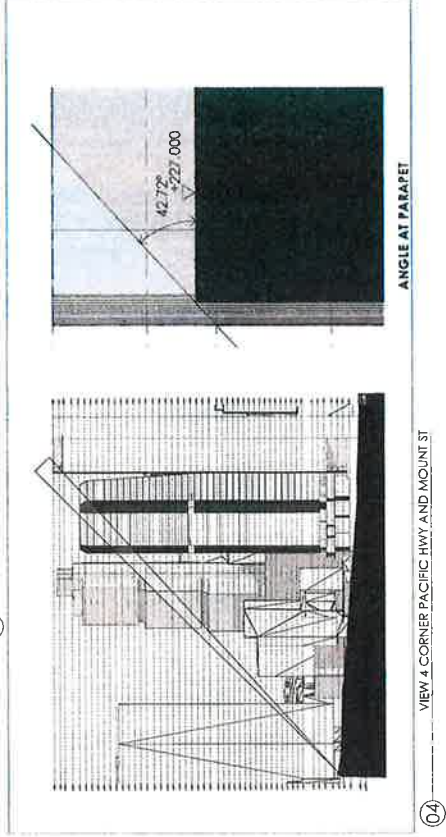
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ANGLE AT PARAPET

VIEW 3 DENISON ST

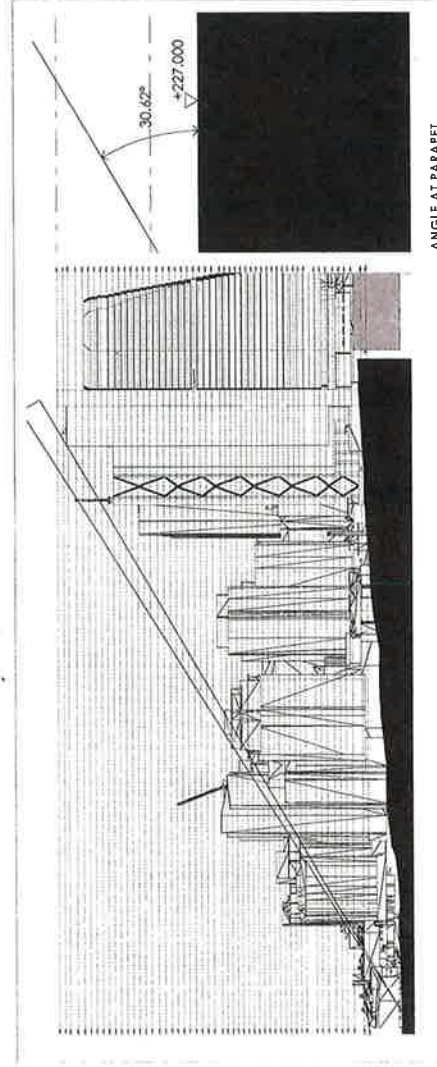
03



ANGLE AT PARAPET

VIEW 4 CORNER PACIFIC HWY AND MOUNT ST

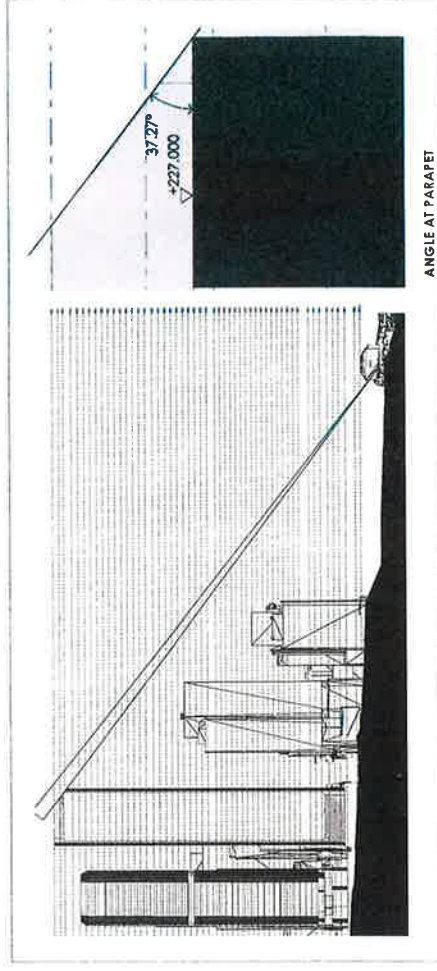
04



ANGLE AT PARAPET

VIEW 5 SOUTH EAST OF BUILDING

05



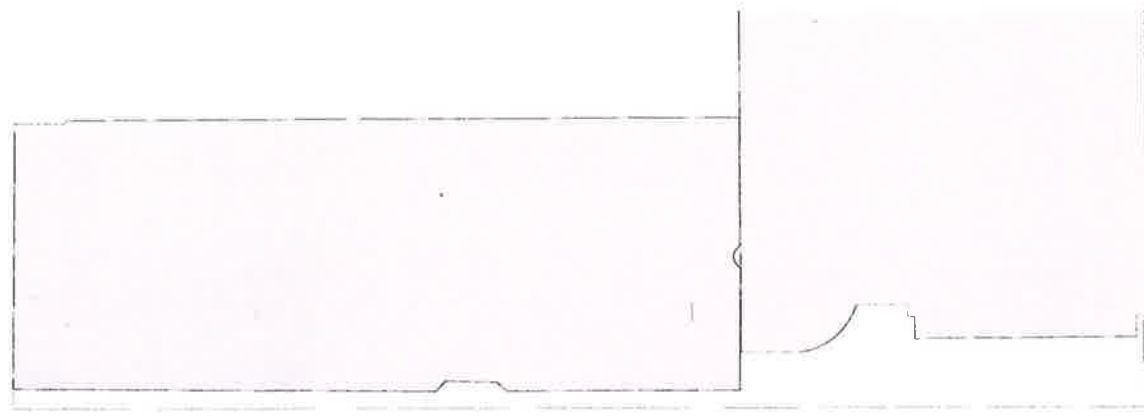
ANGLE AT PARAPET

VIEW 6 HIGHWAY EAST OF BUILDING

06

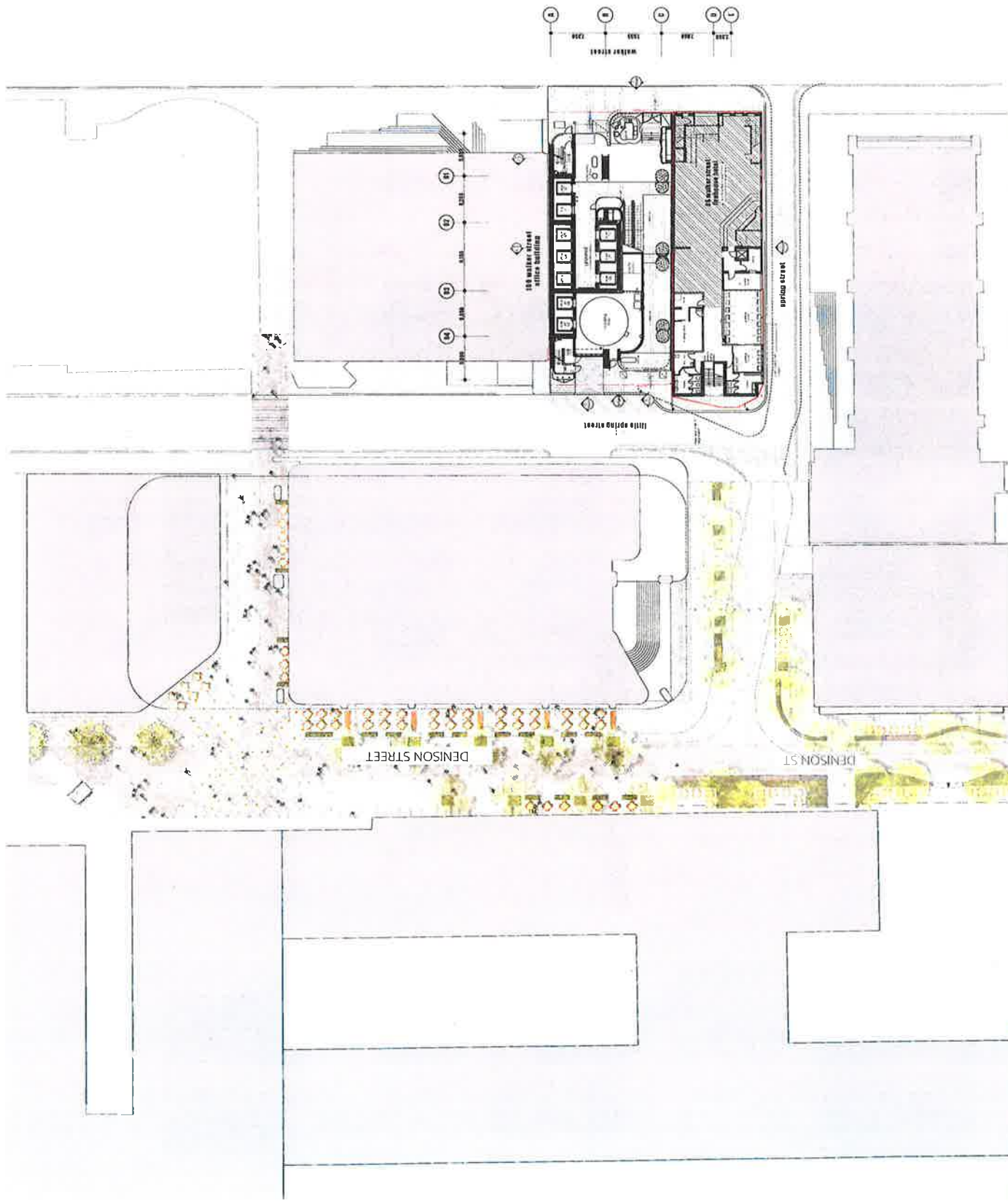
LEGEND

- APPROVED WALLS
- PROPOSED WALLS
- PROPOSED R/L'S



NOTE: COLOURED CONTEXT IS FROM NORTH SYDNEY COUNCIL'S CBD LANEWAYS PUBLIC DOMAIN CONCEPT PLAN NOT PART OF DEVELOPMENT APPLICATION FOR INDICATIVE PURPOSES ONLY.

88 WALKER STREET
DRAWING NO. DA-0050
ISSUE A

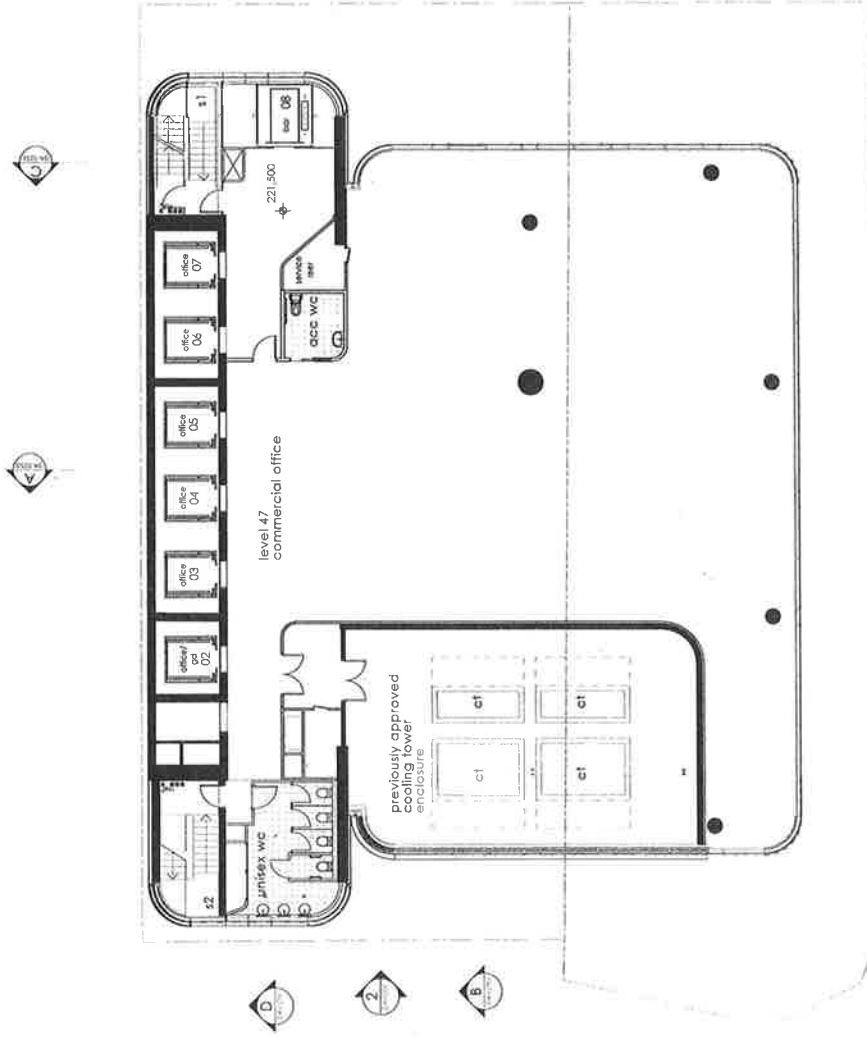
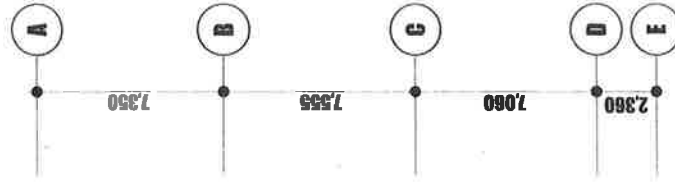
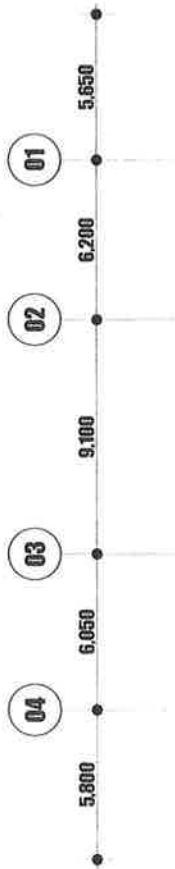


PROJECT NO. 21709
SCALE 1:250
DATE 20/07/2019
PROJECT NAME 88 WALKER STREET
PROJECT LOCATION 88 WALKER STREET, NORTH SYDNEY
PROJECT TYPE SITE PLAN



fitzpatrick + partners
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WWW.FITZPATRICKPARTNERS.COM.AU

Billbergia
LANDSCAPE ARCHITECTS
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MILWAUKEE, WI 53220-0000
TEL: 414.224.4600 FAX: 414.224.4600

THE NEW SCOT FOUNDATION, OFFICE BUILDING, 1000
CONVENT ROAD,
ANN ARBOR, MI 48106-1000
TELEPHONE: 313/763-1000
FAX: 313/763-1001
WWW: WWW.NEWSF.ORG

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evangel communis

EDUCATION ISSUE

21709 E

001:1

610711017

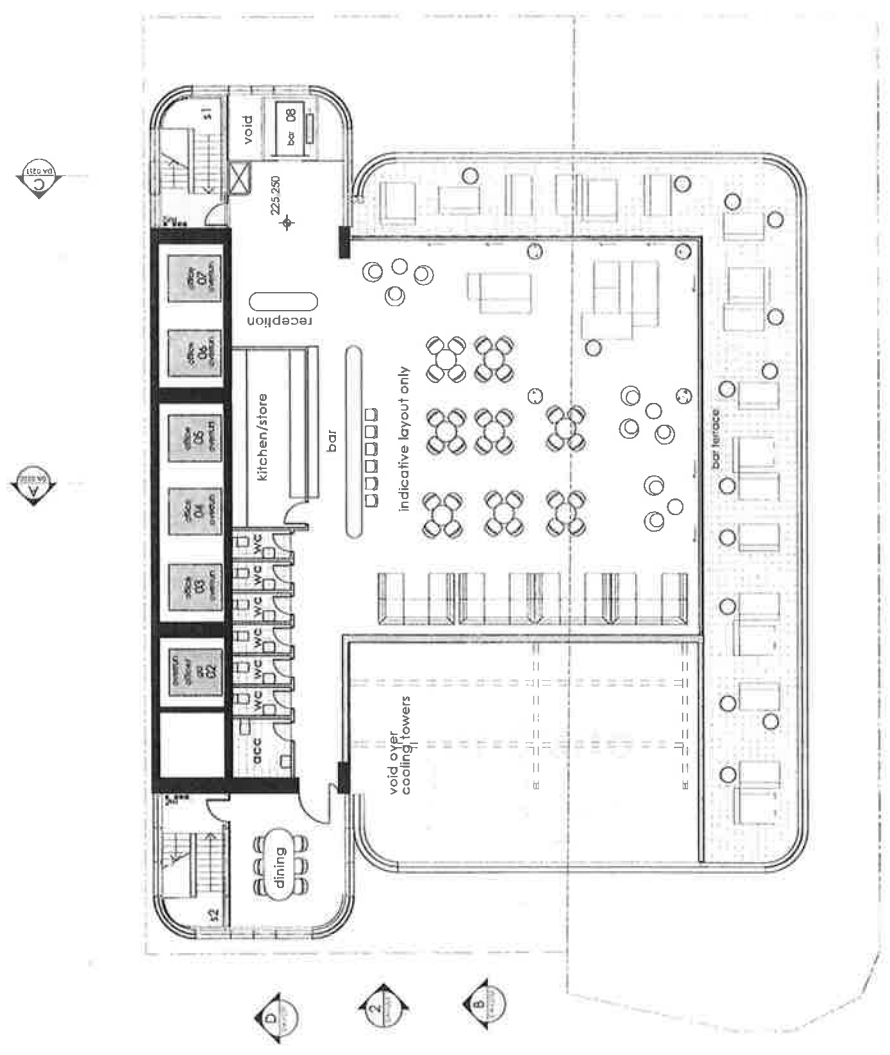
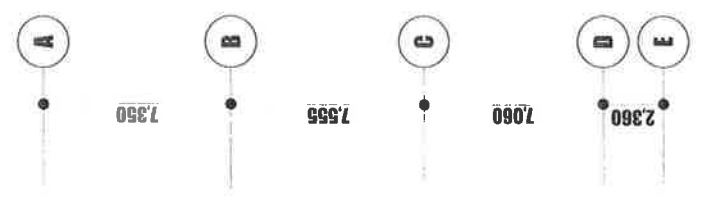
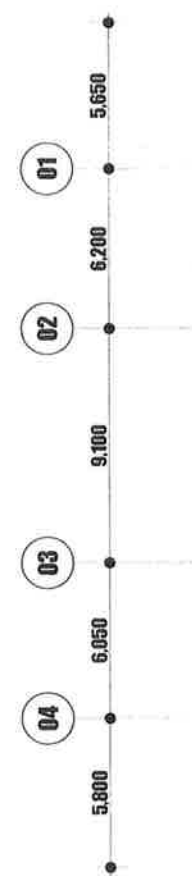
2/07/2017

LEGEND

APPROVED WALLS

PROPOSED WALLS

PROPOSED RT'S



① LEVEL 48 ROOFTOP BAR
1:100

fitzpatrick-partners
Architects
100-100-100
100-100-100
100-100-100

Billheria
Creative Architecture
100-100-100
100-100-100
100-100-100

Billheria
Creative Architecture
100-100-100
100-100-100
100-100-100

Billheria
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Billheria
Creative Architecture
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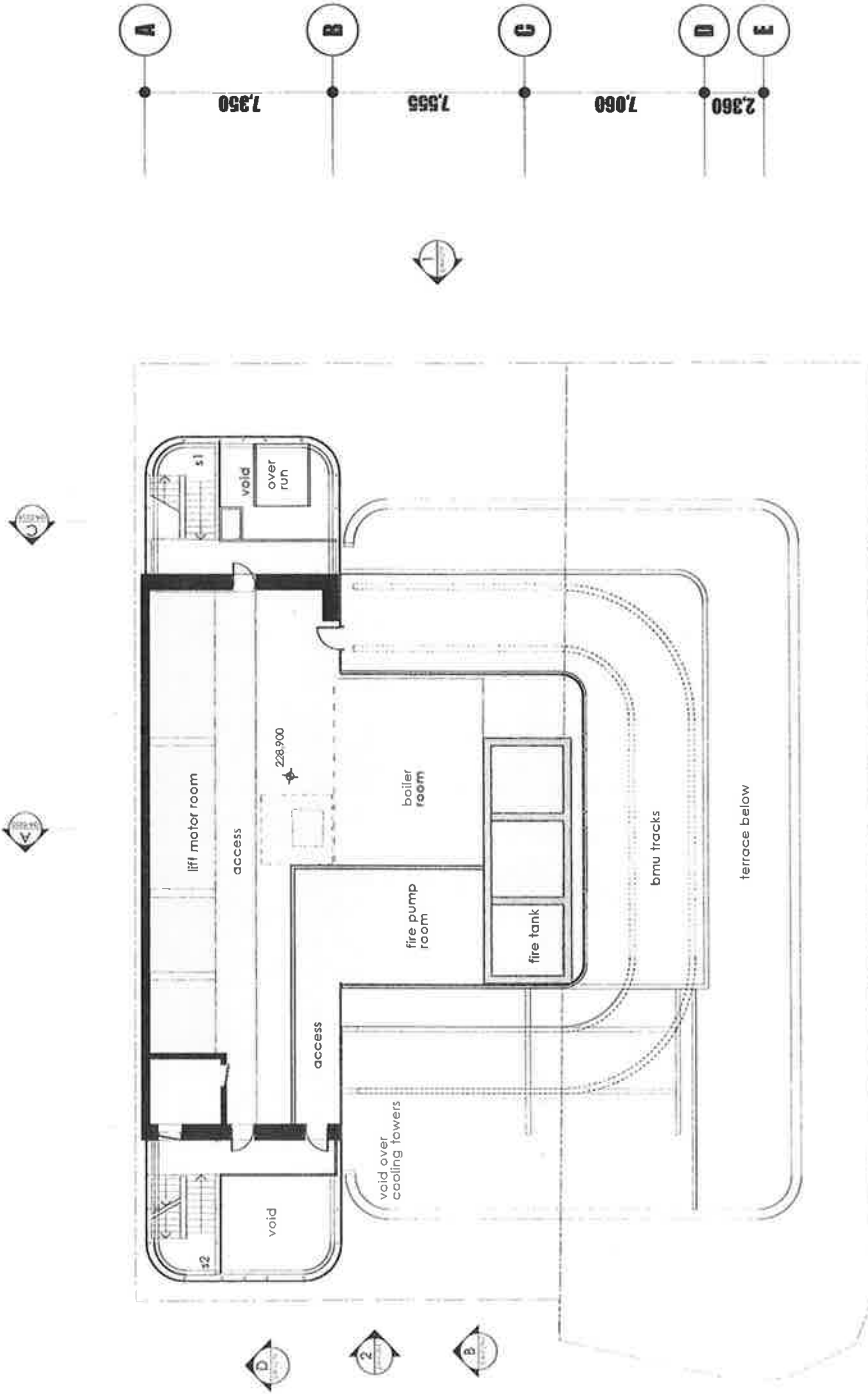
88 WALKER STREET
DRAWING NO.
DA-0102
A

LEGEND

APPROVED WALLS

PROPOSED WALLS

PROPOSED R/L'S



88 WALKER STREET

DA-0103

88 WALKER STREET

DA-0103

LEVEL 49 LMR PLAN

PRINT DATE: 21/07/2019

SCALE: 1:100

PROJECT NO: 217/09

PROJECT NORTH

AMER-ONE-18

DATE: 21/07/2019

PROJECT: 217/09

REVISION: 1

PROJECT NORTH

Billbergia

consulting

CLERK

1. I.E.C. DRAWING IS ISSUED UNDER THE CONDITION THAT IT IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

2. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING AND ITS FITTINGS AND FINISHES.

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LMR

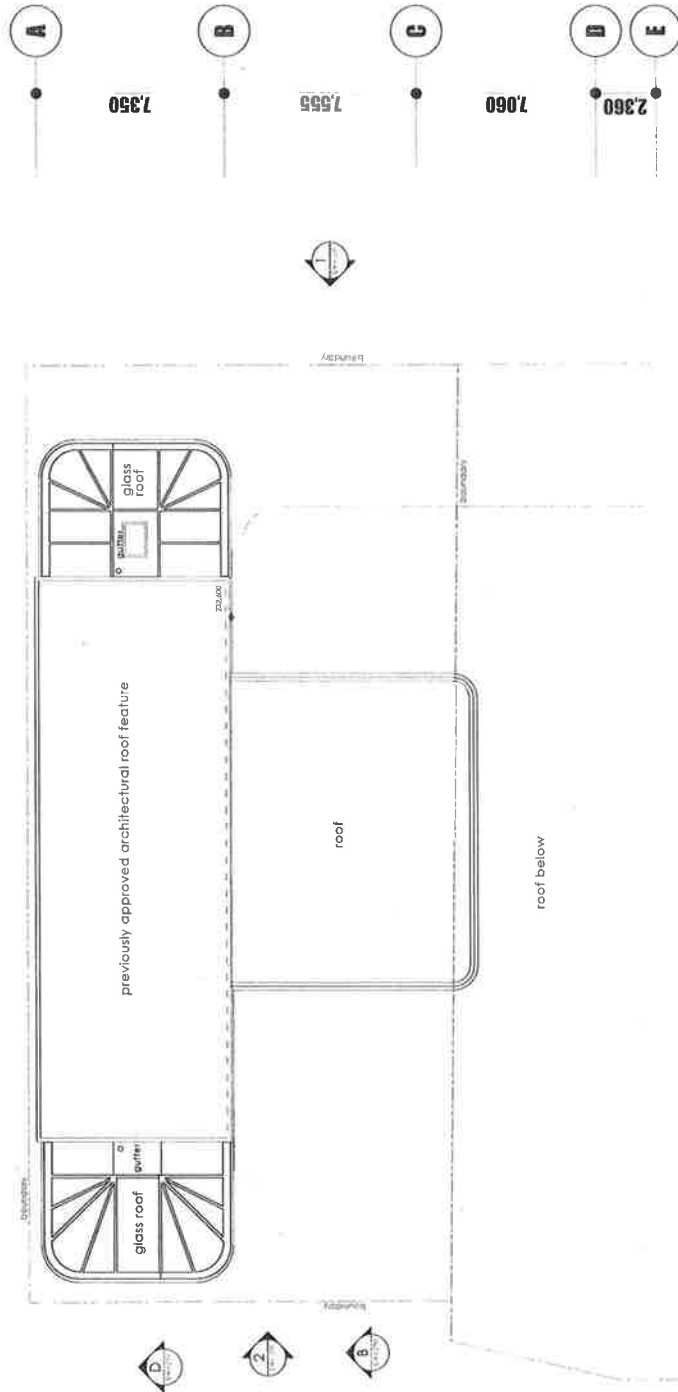
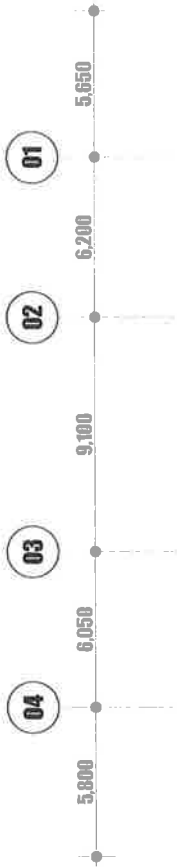
1:100

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11 DAVE & JANE PARTNERSHIP SHEET 0014 Y 2201 / 050004



1 ROOF 1:100

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 Suite 1000
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 Tel: 415.774.4000
 www.fitzpatrickpartners.com

NOTES:
 1. ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED.
 2. DIMENSIONS SHOWN ON THIS PLAN ARE FOR INFORMATION ONLY. THE FINAL DESIGN SHALL BE DETERMINED BY THE ARCHITECT.
 3. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN FRANCISCO.
 4. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN FRANCISCO.
 5. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN FRANCISCO.

CLIENT
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 creating communities

ASSISTANTS
 DESIGNER
 ARCHITECT

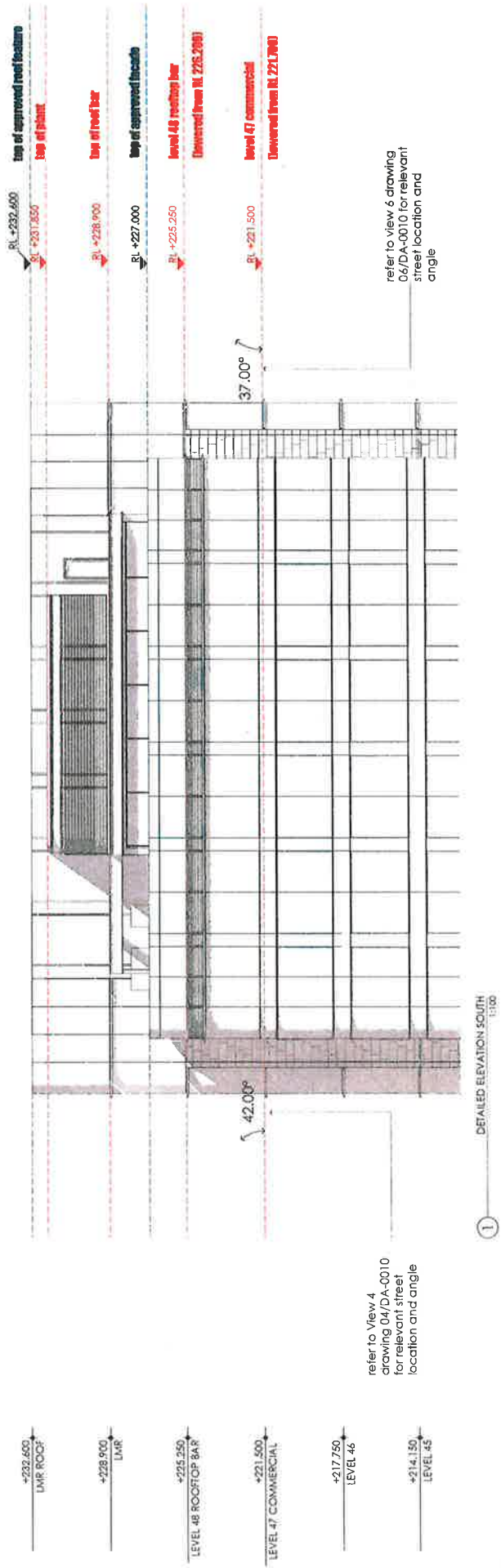
PROJECT NO.
 21709
 REV
 A

SCALE @ A1
 1:100
 NORTH

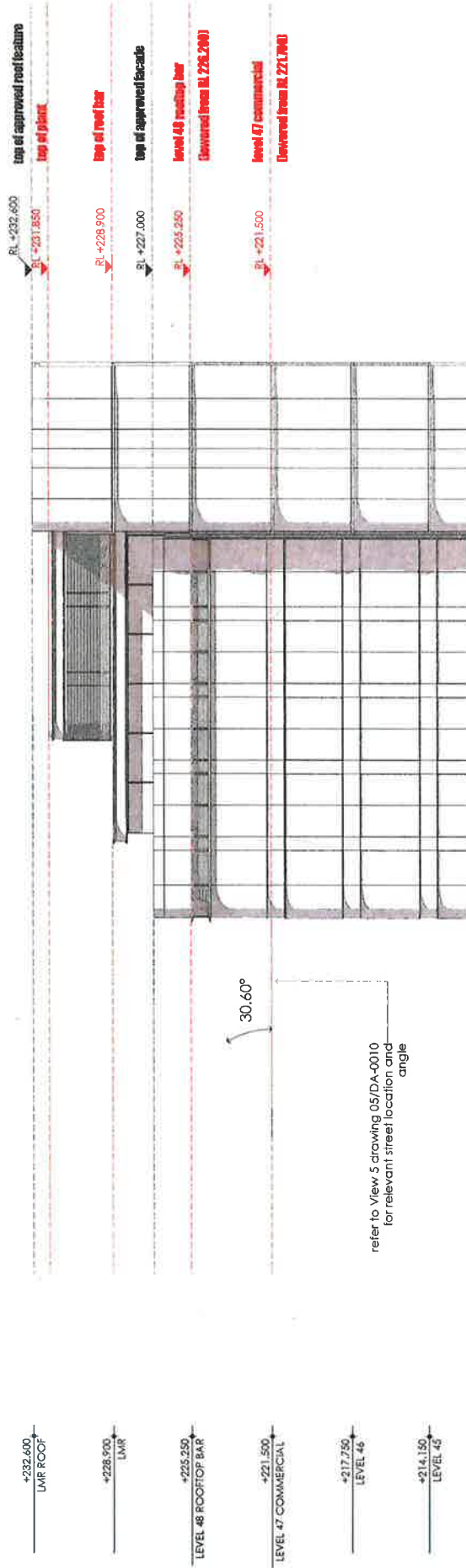
PREP DATE
 2/07/2019
 DRAWING
 LEVEL ROOF PLAN

88 WALKER STREET
 DRAWING NO.
 DA-0104
 SCALE
 A





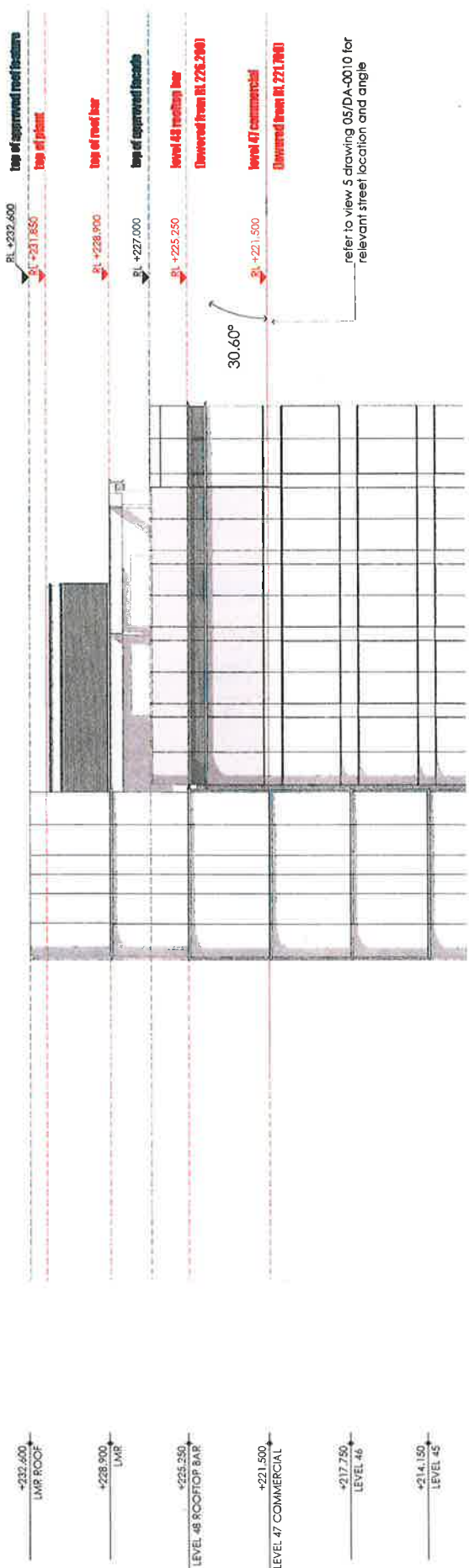
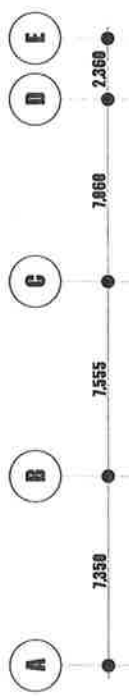
refer to View 4
drawing 04/DA-0010
for relevant street
location and angle



30.60°

refer to View 5 drawing 05/DA-0010
for relevant street location and
angle

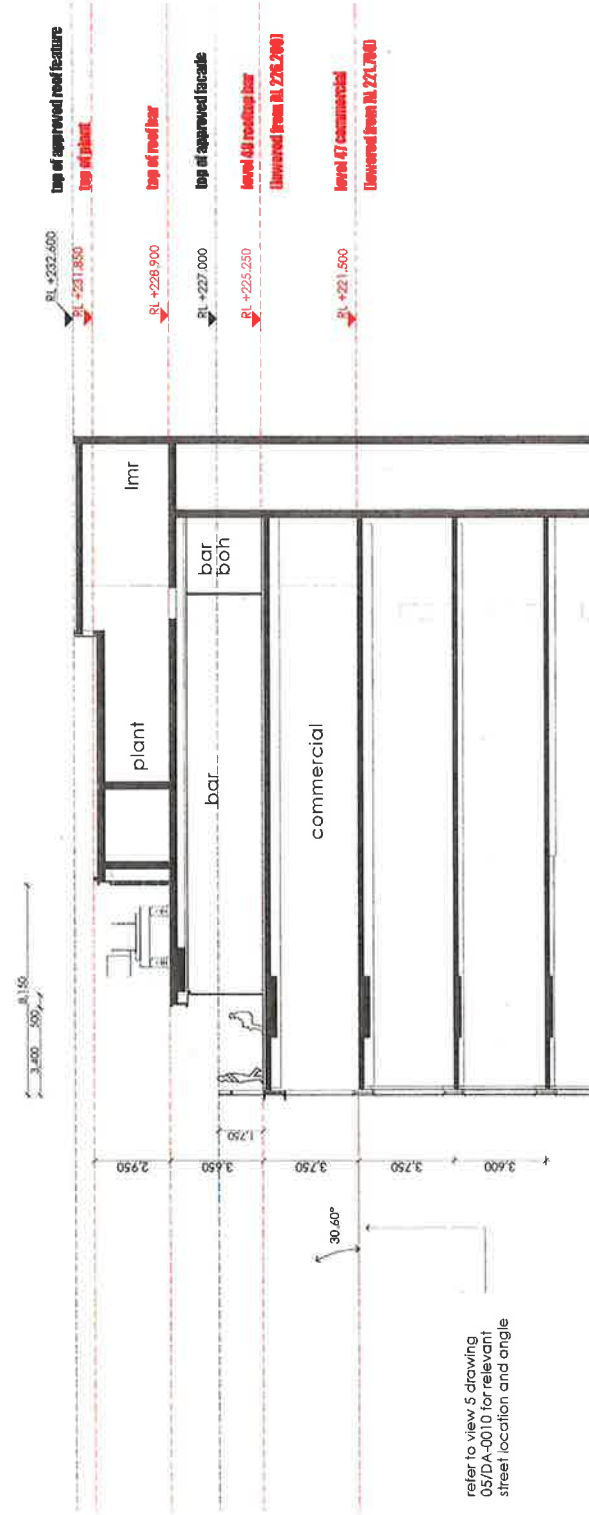
① DETAILED ELEVATION EAST
1:100



① DETAILED WEST ELEVATION
1:100

- +232.600 LMR ROOF
- +228.900 LMR
- +225.250 LEVEL 48 ROOFTOP BAR
- +221.500 LEVEL 47 COMMERCIAL
- +217.750 LEVEL 46
- +214.150 LEVEL 45

refer to view 5 drawing 05/DA-001.0 for relevant street location and angle



refer to view 5 drawing 05/DA-0010 for relevant street location and angle

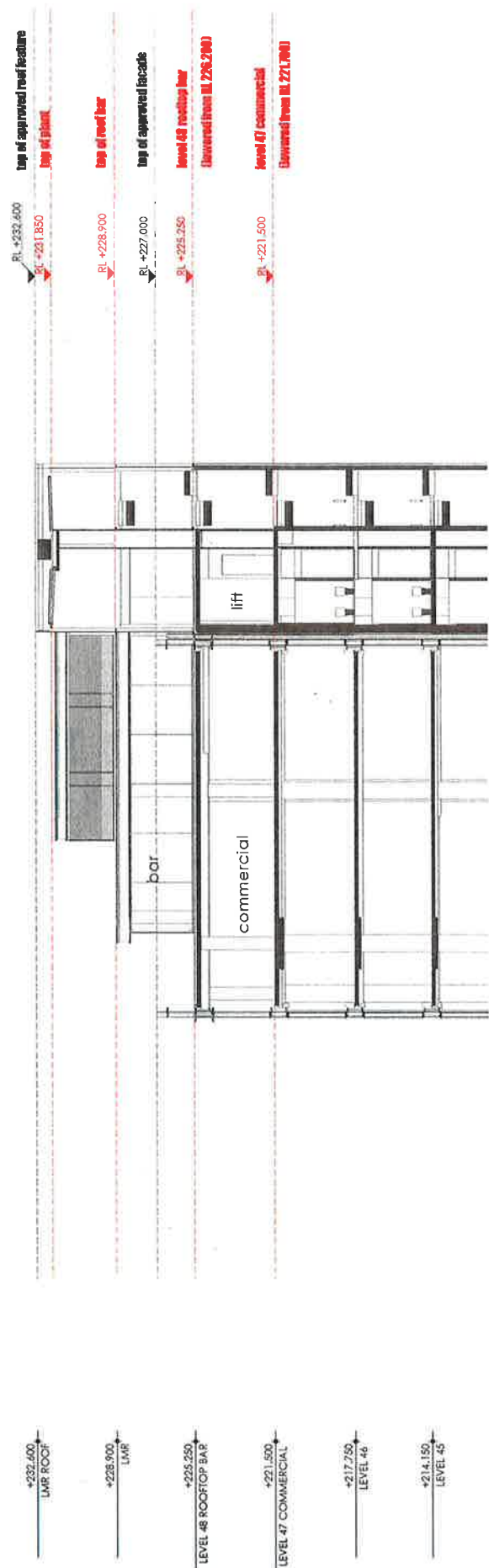
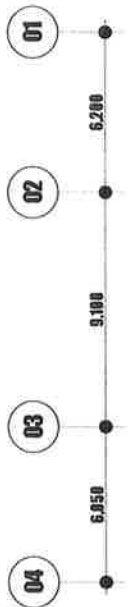
1 DETAILED SECTION A 1:100



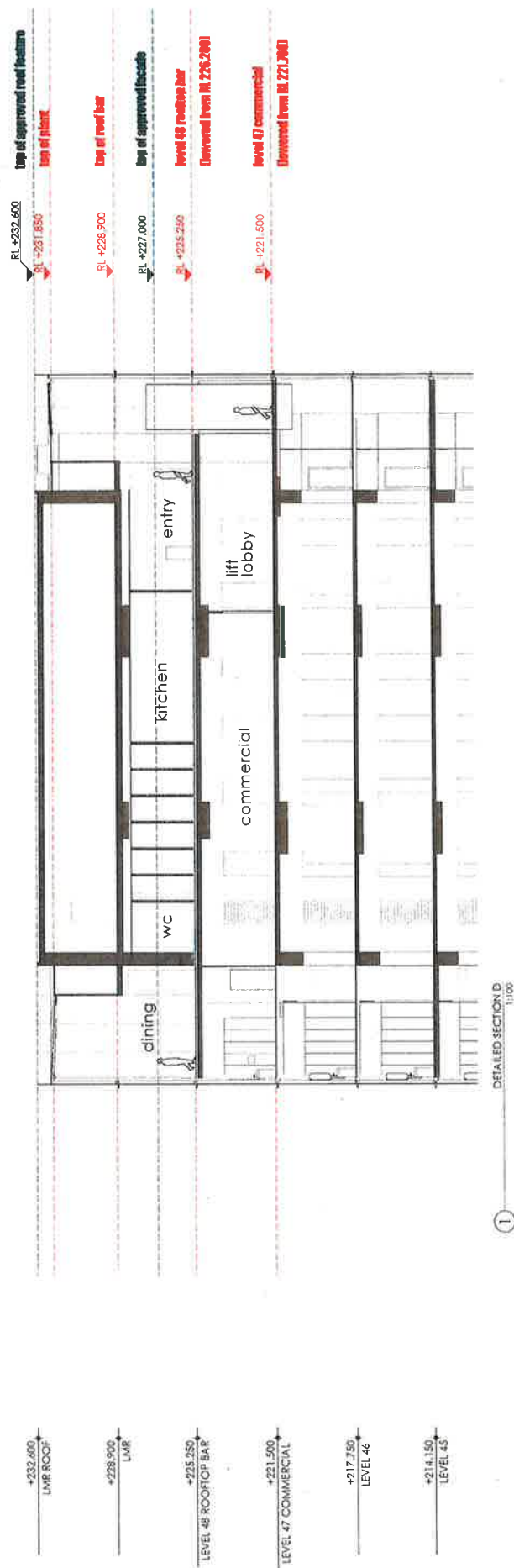
refer to view 6
drawing 06/DA-0010
for relevant street
location and angle

refer to view 4
drawing 04/DA-0010
for relevant street
location and angle

DRAWING NO.
DA-0264



3 DETAILED SECTION C
1:100



schedule of areas - TALL SCHEME (ROOFTOP BAR)

fitzpatrick+partners

88 Walker St, North Sydney
 Concept Development
 Date: 2 JUL 2019
 Prepared by: SM
 Checked by: PR
 Comments: As per meeting

	USE	RL	FTO F	GFA	GFA	NLA	GSA/GFA	GFA/NLA	COMMENTS
	maximum height limit difference / potential	227.00 0.00							
81	rooftop bar	227.00	3.75	367m ²	0m ²	0m ²	n/a	n/a	BAR AND LVR
80	100% BALCONY	226.95	3.75	728m ²	345m ²	405m ²	47%	100%	ROOFTOP BAR-ADDITIONAL 15m ² TERRACE
47	100% BALCONY	227.00	3.75	728m ²	599m ²	599m ²	82%	82%	incl. 15m ² terrace
48	100% BALCONY	226.25	3.75	728m ²	599m ²	599m ²	82%	82%	incl. 15m ² terrace
49	100% BALCONY	227.00	3.75	728m ²	599m ²	599m ²	82%	82%	incl. 15m ² terrace
44	12 office	217.75	3.60	738m ²	599m ²	599m ²	81%	93%	
45	11 office	214.15	3.60	738m ²	599m ²	599m ²	81%	93%	
44	10 office	210.55	3.60	738m ²	599m ²	599m ²	81%	93%	
43	9 office	206.95	3.60	738m ²	599m ²	599m ²	81%	93%	
42	8 office	203.35	3.60	738m ²	599m ²	599m ²	81%	93%	
41	7 office	199.75	3.60	738m ²	599m ²	599m ²	81%	93%	
40	6 office	196.15	3.60	738m ²	599m ²	599m ²	81%	93%	
39	5 office	192.55	3.60	738m ²	599m ²	599m ²	81%	93%	
38	4 office	188.95	3.60	738m ²	599m ²	599m ²	81%	93%	
37	3 office	185.35	3.60	738m ²	599m ²	599m ²	81%	93%	
36	2 office	181.75	3.60	738m ²	599m ²	599m ²	81%	93%	
35	1 office	178.15	3.60	738m ²	599m ²	599m ²	81%	93%	
34	100% BALCONY	174.55	3.25	738m ²	599m ²	599m ²	81%	93%	assumed 300 slab
33	8 office	170.95	3.25	738m ²	599m ²	599m ²	81%	93%	assumed 300 slab
32	6 office	167.35	3.60	738m ²	599m ²	599m ²	81%	93%	assumed 300 slab
31	4 office	163.75	3.60	738m ²	599m ²	599m ²	81%	93%	assumed 300 slab
30	2 office	160.15	3.60	738m ²	599m ²	599m ²	81%	93%	assumed 300 slab
29	1 office	156.55	3.60	738m ²	599m ²	599m ²	81%	93%	assumed 300 slab
28	100% BALCONY	152.95	3.60	738m ²	599m ²	599m ²	81%	93%	assumed 300 slab
27	8 office	149.35	3.60	738m ²	599m ²	599m ²	81%	93%	assumed 300 slab
26	6 office	145.75	3.60	738m ²	599m ²	599m ²	81%	93%	assumed 300 slab
25	4 office	142.15	3.60	738m ²	599m ²	599m ²	81%	93%	assumed 300 slab
24	2 office	138.55	3.60	738m ²	599m ²	599m ²	81%	93%	assumed 300 slab
23	1 office	134.95	3.60	738m ²	599m ²	599m ²	81%	93%	assumed 300 slab
22	100% BALCONY	131.35	3.25	744m ²	553m ²	553m ²	75%	100%	100% BALCONY 300 slab
21	14 hotel	127.75	3.10	744m ²	553m ²	553m ²	75%	100%	100% BALCONY 300 slab
20	12 hotel	124.15	3.10	744m ²	553m ²	553m ²	75%	100%	100% BALCONY 300 slab
19	10 hotel	120.55	3.10	744m ²	553m ²	553m ²	75%	100%	100% BALCONY 300 slab
18	8 hotel	116.95	3.10	744m ²	553m ²	553m ²	75%	100%	100% BALCONY 300 slab
17	6 hotel	113.35	3.10	744m ²	553m ²	553m ²	75%	100%	100% BALCONY 300 slab
16	4 hotel	109.75	3.10	744m ²	553m ²	553m ²	75%	100%	100% BALCONY 300 slab
15	2 hotel	106.15	3.10	744m ²	553m ²	553m ²	75%	100%	100% BALCONY 300 slab
14	100% BALCONY	102.55	3.10	744m ²	553m ²	553m ²	75%	100%	100% BALCONY 300 slab
13	8 hotel	98.95	3.10	744m ²	553m ²	553m ²	75%	100%	100% BALCONY 300 slab
12	6 hotel	95.35	3.10	744m ²	553m ²	553m ²	75%	100%	100% BALCONY 300 slab
11	4 hotel	91.75	3.10	744m ²	553m ²	553m ²	75%	100%	100% BALCONY 300 slab
10	2 hotel	88.15	3.10	744m ²	553m ²	553m ²	75%	100%	100% BALCONY 300 slab
9	1 hotel	84.55	3.10	744m ²	553m ²	553m ²	75%	100%	100% BALCONY 300 slab
8	100% BALCONY	80.95	3.10	744m ²	553m ²	553m ²	75%	100%	100% BALCONY 300 slab
7	100% BALCONY	77.35	3.20	744m ²	553m ²	553m ²	75%	100%	100% BALCONY 300 slab
6	100% BALCONY	73.75	3.65	744m ²	553m ²	553m ²	75%	100%	100% BALCONY 300 slab
5	100% BALCONY	70.15	3.65	744m ²	553m ²	553m ²	75%	100%	100% BALCONY 300 slab
4	100% BALCONY	66.55	3.65	744m ²	553m ²	553m ²	75%	100%	100% BALCONY 300 slab
3	100% BALCONY	62.95	3.65	744m ²	553m ²	553m ²	75%	100%	100% BALCONY 300 slab
2	100% BALCONY	59.35	3.65	744m ²	553m ²	553m ²	75%	100%	100% BALCONY 300 slab
1	100% BALCONY	55.75	3.65	744m ²	553m ²	553m ²	75%	100%	100% BALCONY 300 slab
0	100% BALCONY	52.15	3.65	744m ²	553m ²	553m ²	75%	100%	100% BALCONY 300 slab
31	100% BALCONY	48.55	3.60	538m ²	259m ²	259m ²	n/a	n/a	
30	100% BALCONY	44.95	3.60	538m ²	259m ²	259m ²	n/a	n/a	
29	100% BALCONY	41.35	3.60	538m ²	259m ²	259m ²	n/a	n/a	
28	100% BALCONY	37.75	3.60	538m ²	259m ²	259m ²	n/a	n/a	
27	100% BALCONY	34.15	3.60	538m ²	259m ²	259m ²	n/a	n/a	
26	100% BALCONY	30.55	3.60	538m ²	259m ²	259m ²	n/a	n/a	
25	100% BALCONY	26.95	3.60	538m ²	259m ²	259m ²	n/a	n/a	
24	100% BALCONY	23.35	3.60	538m ²	259m ²	259m ²	n/a	n/a	
23	100% BALCONY	19.75	3.60	538m ²	259m ²	259m ²	n/a	n/a	
22	100% BALCONY	16.15	3.60	538m ²	259m ²	259m ²	n/a	n/a	
21	100% BALCONY	12.55	3.60	538m ²	259m ²	259m ²	n/a	n/a	
20	100% BALCONY	8.95	3.60	538m ²	259m ²	259m ²	n/a	n/a	
19	100% BALCONY	5.35	3.60	538m ²	259m ²	259m ²	n/a	n/a	
18	100% BALCONY	1.75	3.60	538m ²	259m ²	259m ²	n/a	n/a	
17	100% BALCONY	-1.85	3.60	538m ²	259m ²	259m ²	n/a	n/a	
16	100% BALCONY	-5.45	3.60	538m ²	259m ²	259m ²	n/a	n/a	
15	100% BALCONY	-9.05	3.60	538m ²	259m ²	259m ²	n/a	n/a	
14	100% BALCONY	-12.65	3.60	538m ²	259m ²	259m ²	n/a	n/a	
13	100% BALCONY	-16.25	3.60	538m ²	259m ²	259m ²	n/a	n/a	
12	100% BALCONY	-19.85	3.60	538m ²	259m ²	259m ²	n/a	n/a	
11	100% BALCONY	-23.45	3.60	538m ²	259m ²	259m ²	n/a	n/a	
10	100% BALCONY	-27.05	3.60	538m ²	259m ²	259m ²	n/a	n/a	
9	100% BALCONY	-30.65	3.60	538m ²	259m ²	259m ²	n/a	n/a	
8	100% BALCONY	-34.25	3.60	538m ²	259m ²	259m ²	n/a	n/a	
7	100% BALCONY	-37.85	3.60	538m ²	259m ²	259m ²	n/a	n/a	
6	100% BALCONY	-41.45	3.60	538m ²	259m ²	259m ²	n/a	n/a	
5	100% BALCONY	-45.05	3.60	538m ²	259m ²	259m ²	n/a	n/a	
4	100% BALCONY	-48.65	3.60	538m ²	259m ²	259m ²	n/a	n/a	
3	100% BALCONY	-52.25	3.60	538m ²	259m ²	259m ²	n/a	n/a	
2	100% BALCONY	-55.85	3.60	538m ²	259m ²	259m ²	n/a	n/a	
1	100% BALCONY	-59.45	3.60	538m ²	259m ²	259m ²	n/a	n/a	
0	100% BALCONY	-63.05	3.60	538m ²	259m ²	259m ²	n/a	n/a	
31	100% BALCONY	-66.65	3.60	538m ²	259m ²	259m ²	n/a	n/a	
30	100% BALCONY	-70.25	3.60	538m ²	259m ²	259m ²	n/a	n/a	
29	100% BALCONY	-73.85	3.60	538m ²	259m ²	259m ²	n/a	n/a	
28	100% BALCONY	-77.45	3.60	538m ²	259m ²	259m ²	n/a	n/a	
27	100% BALCONY	-81.05	3.60	538m ²	259m ²	259m ²	n/a	n/a	
26	100% BALCONY	-84.65	3.60	538m ²	259m ²	259m ²	n/a	n/a	
25	100% BALCONY	-88.25	3.60	538m ²	259m ²	259m ²	n/a	n/a	
24	100% BALCONY	-91.85	3.60	538m ²	259m ²	259m ²	n/a	n/a	
23	100% BALCONY	-95.45	3.60	538m ²	259m ²	259m ²	n/a	n/a	
22	100% BALCONY	-99.05	3.60	538m ²	259m ²	259m ²	n/a	n/a	
21	100% BALCONY	-102.65	3.60	538m ²	259m ²	259m ²	n/a	n/a	
20	100% BALCONY	-106.25	3.60	538m ²	259m ²	259m ²	n/a	n/a	
19	100% BALCONY	-109.85	3.60	538m ²	259m ²	259m ²	n/a	n/a	
18	100% BALCONY	-113.45	3.60	538m ²	259m ²	259m ²	n/a	n/a	
17	100% BALCONY	-117.05	3.60	538m ²	259m ²	259m ²	n/a	n/a	
16	100% BALCONY	-120.65	3.60	538m ²	259m ²	259m ²	n/a	n/a	
15	100% BALCONY	-124.25	3.60	538m ²	259m ²	259m ²	n/a	n/a	
14	100% BALCONY	-127.85	3.60	538m ²	259m ²	259m ²	n/a	n/a	
13	100% BALCONY	-131.45	3.60	538m ²	259m ²	259m ²	n/a	n/a	
12	100% BALCONY	-135.05	3.60	538m ²	259m ²	259m ²	n/a	n/a	
11	100% BALCONY	-138.65	3.60	538m ²	259m ²	259m ²	n/a	n/a	
10	100% BALCONY	-142.25	3.60	538m ²	259m ²	259m ²	n/a	n/a	
9	100% BALCONY	-145.85	3.60	538m ²	259m ²	259m ²	n/a	n/a	
8	100% BALCONY	-149.45	3.60	538m ²	259m ²	259m ²	n/a	n/a	
7	100% BALCONY	-153.05	3.60	538m ²	259m ²	259m ²	n/a	n/a	
6	100% BALCONY	-156.65	3.60	538m ²	259m ²	259m ²	n/a	n/a	
5	100% BALCONY	-160.25	3.60						



① CORNER PACIFIC HWY AND WALKER ST



1 WALKER STREET



1 DENSON ST

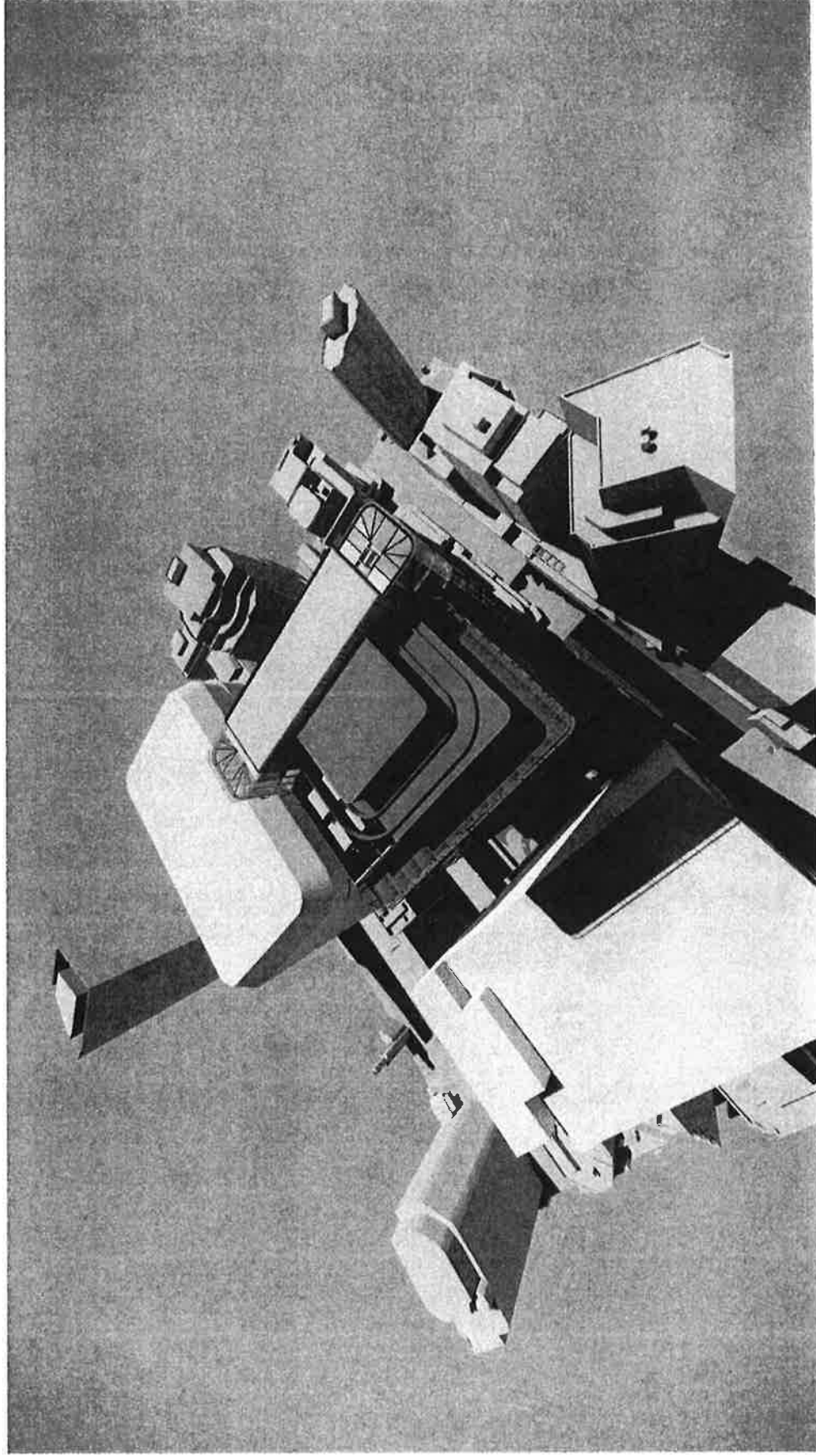


1 CORNER PACIFIC HWY AND MOUNT ST

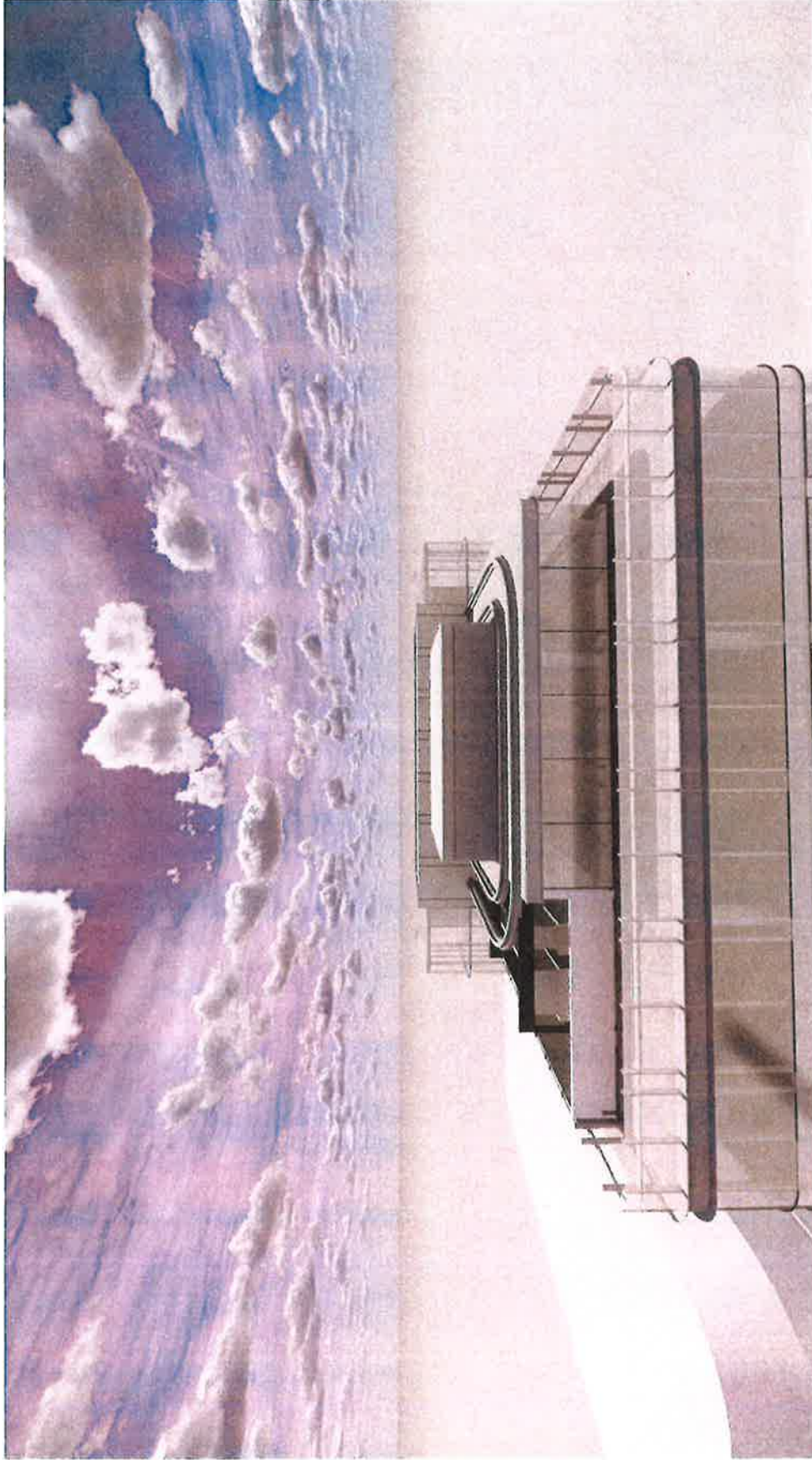


① FREEWAY SOUTH EAST OF BUILDING

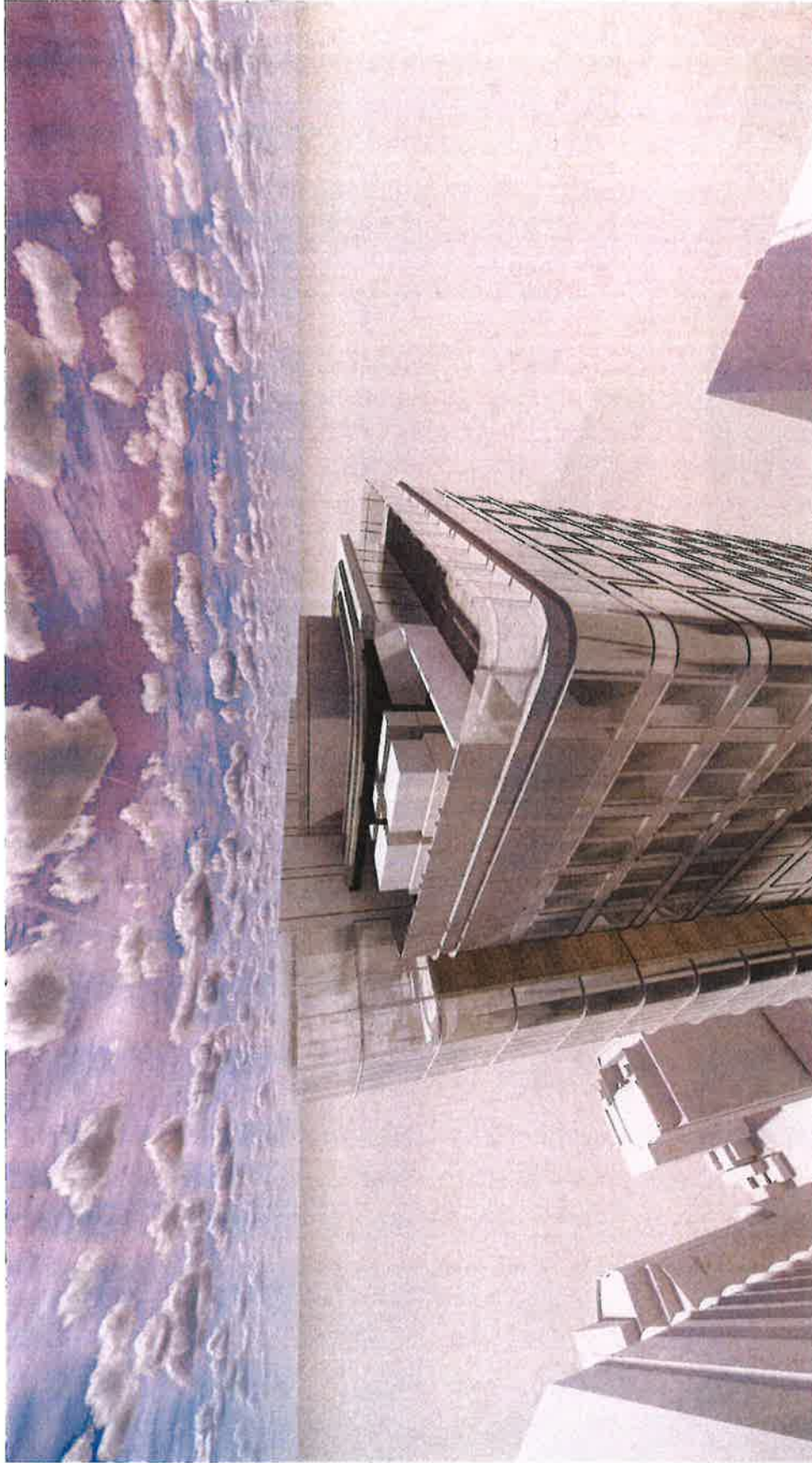




① CORNER PACIFIC HWY AND WALKER ST



① CORNER PACIFIC HWY AND WALKER ST



1 CORNER PACIFIC HWY AND WALKER ST

EXISTING VS PROPOSED

SHADOW ANALYSIS: WINTER 15:00



1 APPROVED - 21ST JUNE 3PM

- PROPOSED DEVELOPMENT - 88 WALKER STREET
- UNDER CONSTRUCTION - 1 DENISON
- UNDER CONSTRUCTION - 100 MOUNT
- UNDER CONSTRUCTION - 118 MOUNT

- SPECIAL AREAS (NO ADDITIONAL OVERSHADOWING 12PM - 2PM)
- RESIDENTIAL AREA (NO ADDITIONAL OVERSHADOWING 21ST JUNE 10AM - 2PM NS CLUS)
- PUBLIC RECREATION SPACE (NO ADDITIONAL OVERSHADOWING 12:00PM - 2:00PM)



2 PROPOSED - 21ST JUNE 3PM

- ADDITIONAL SHADOW

NOTE - NO ADDITIONAL OVERSHADOWING ON
-SPECIAL AREAS
-RESIDENTIAL AREAS
-PUBLIC RECREATION SPACE